



FAIRVIEW

— ESTATES —

FARMING AND LANDSCAPING CODE

RULES AND REGULATIONS

Revised February 2025



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INTRODUCTION

These guidelines serve as the farming as well as the landscaping architectural aesthetic rules for Fairview Estates.

Please note that design approval by Fairview Estates does not warrant local authority or building regulation approval.

A parallel submission is to be made to the Fairview Estates Architectural Design Review Committee (ADRC) for any external alterations or structures.

Agricultural practices will be based on sustainable agricultural principles. Our focus is based on responsible stewardship of land and natural resources, by incorporating BMP (Best Management Practices) and establishing a rich biodiversity and healthy ecosystem within the estate.

Fairview Estates is set upon lush rolling farmlands of the tropical KwaZulu Natal North Coast. The founding farmer's dream; as the original farmer of the estate; is to create bespoke, contemporary farm style estate living, such an estate being unique and a first of its kind to the North Coast.

The ideal is to invest in a community of like-minded homeowners and farmers who value great architecture together with sustainable farming practices that are sensitive to the environment, orientation, context, as well as to each other on neighbouring plots. It is Fairview Estates' priority that sustainable farming and landscaping has been identified as a vital contributor towards achieving exceptional long-term value of both investment and lifestyle within our farming community. Consequently, there is also a need to monitor and manage agricultural activities on the estate, without subtracting from the agricultural nature of the estate.

Although exceptional planning and landscaping design is encouraged in this document, it is not a requirement to appoint a professional Landscape Architect for this submission. In line with the ethos of sustainable and authentic living, the landscape code is intended to be a natural, farming landscape style, which is low maintenance where a neat and well-managed appearance (not manicured) is encouraged.

For assistance with your farm master plan design, please e-mail admin@fefa.co.za



SUSTAINABLE DRAINAGE AND STORMWATER MANAGEMENT

Fairview Estates strives to be a sustainable and environmentally friendly development. In line with this approach, all stormwater management activities must be conducted in a sustainable manner. Each Property owner is responsible for managing the stormwater on his/her property. Water Sensitive Urban Design (WSUD) and Sustainable Urban Drainage (SUDs) principles need to be applied on all sites. Pre any farming activity or construction on site an Engineering Stormwater Management Plan must be submitted (to be done by a suitably qualified engineer). This must be submitted with the farming master plan.

1. All post-development stormwater to be attenuated to pre-development flows prior to discharging onto another property.
2. Discharge of stormwater shall not be in a concentrated manner. Spreading water into sheet-flow at discharge is compulsory.
3. No water is to be led off roads directly into watercourses but must flow at least through 10 m of vegetation/cane field to trap sediment before entering a watercourse.
4. Stormwater infrastructure constructed should promote infiltration into the soil. Infiltration should be done in a responsible manner where it will not affect the structural integrity of any structures or infrastructure.
5. As far as possible, stormwater channels should be planted for natural filtration of stormwater. Steep sections should contain stone pitching to prevent erosion.
6. Open sections of land to be vegetated to prevent erosion.
7. From 1 March 2021, all soil structures other than in valley bottoms, whether for raised beds for production or for soil conservation must be designed and constructed as spill over structures and set out along the contour to avoid concentrating surface flow of water. Should any farmer wish to apply for an exception to this rule this must be justified by using the methodology described as “The sustainable soil loss method” described in “*Design norms for soil and water conservation structures in the sugar industry of South Africa*” which can be provided by FEFA or at <http://www.scielo.org.za/pdf/wsa/v45n1/16.pdf>. This must be done by a professional engineer.
8. No stormwater may run into any FEFA main or existing road from driveways.

A pre-construction, during construction, and post-construction Stormwater Management Plan must be completed and submitted to FEFA with Farming Development Plan. The property owner might be required to provide information or answer questions surrounding his/her drainage plans. All owners are legally responsible for the stormwater management on his/her site and no obligation or responsibility will lie with the Fairview Estates Farmers Association or the Developer.



AGRICULTURAL ACTIVITY

Agricultural activities that can be construed as a nuisance to the rest of the estate, or that could negatively impact property values within the estate, will not be allowed.

LIST OF EXCLUSIONS

The intention is to allow general agricultural activities, as permitted by the local municipality subject to FEFA approval of application. The following list of exclusions will however **not** be allowed:

1. Large scale Poultry Farming
2. Kennels
3. Cattery
4. Landing Strip
5. Abattoir
6. Drive in cinema
7. Service Station
8. Extractive Industry
9. Light Industrial Building
10. Service Industrial Building
11. Caravan Park
12. Landfill Site

The following are not intended to be allowed upon the estate, but a special approval may be granted by FEFA provided it can be demonstrated the activity will be of sufficient benefit of, and approved by, the majority of FEFA members.

1. Waterworks
2. Agricultural Industry including commercial tunnel farming
3. Farm Store
4. Restaurant
5. Shop
6. Bed and Breakfast Facility
7. Base Telecommunication's Transmission Station (BTTS)
8. Photovoltaic Power Station
9. Solar Farm
10. Wind Farm

The list of exclusions is non-exhaustive. FEFA reserves the right to deny farming activities that they deem an unfair nuisance to other estate residents, but FEFA must, in its considerations consider any mitigating factors such as the distance and visibility of the activity from other sites in particular on larger properties. Some activities may be deemed a nuisance or unsightly etc. on some properties but not so on other properties where there are mitigating factors. Discretion will lie with the FEFA board.



AGRICULTURAL APPLICATION

A. LAND USE CHANGE

All changes in land use from an existing to an alternative agricultural activity needs to be submitted for approval by FEFA (prior to the change), whose approval will not be unreasonably withheld. Each application needs to clearly indicate:

1. Nature of the activity
2. Size and layout of the activity
3. Layout and sections of any visible infrastructure and structures required for the activity
4. Possible implications of the activity, especially implications that could be construed as a nuisance
5. Approval must further be obtained for any activity intended within the FEFA conservation corridor, demonstrating that no environmental legislation is triggered.

FARMING AND LANDSCAPING CODES

PHILOSOPHY

The prevailing philosophy behind the Farming and Landscaping Codes is to develop a sustainable farming community based on the following principles:

1. Environmental sustainability and conservation
2. Sustainable Living through cultivating of crops, pastures, or natural veld
3. Promoting off the grid living
4. Retaining a natural farm look to the estate with minimal formal landscaping

B. AGRICULTURAL DESIGN PRINCIPLES

These are the basic design principles:

1. Wetlands and Drainage Lines

- 1.1 Promote and keep natural environmental corridors – such as wetlands and their buffers as per the environmental authorisation, etc.
- 1.2 Create stormwater attenuation features to prevent high speed runoff and erosion – for ponds, rather excavate soils and integrate with natural topography to look natural. To be included in the Engineering Stormwater Plan and shown on the Farming Development Plan.
- 1.3 FEFA has a prescribed “conservation corridor” which allows for fauna to pass through every property without having a physical boundary for them to cross. The only intervention that is allowed within this corridor is for the landowner to contribute with natural indigenous vegetation that promotes and feeds fauna.

2. Prevailing Winds

- 2.1 Maximum wind velocities are high. Predominant wind directions are NNE and SSW



- 2.2 Curtailing winds on site is promoted.
- 2.3 Promote the planning and use of windbreaks. Type and extent to be shown on Farming Development Plan.
- 2.4 Protect social spaces with courtyard home designs, planted screens and windbreak tree planting.
- 2.5 It is important to relate the positioning and outline of the buildings on the site, as this will create many micro-climates.
- 2.6 Exclusion for windbreaks that will not be allowed: shade cloth (unless detailed and submitted for review by the ADRC).

3. Views and Orientation

- 3.1 Be sensitive to view lines of neighbours and long-term view protection by using the correct plant species.
- 3.2 Motivate the site-specific orientation for internal and external living spaces to optimize passive energies.
- 3.3 Contact FEFA for neighbours' site and Farming Development Plans. FEFA reserves the the rights to pass on these plans to neighbours for sole use on their Farming Master Plan applications.

4. Greenhouses

- 4.1 The maximum size of shade cloth nurseries permitted will be 1% of the property size, or 500 m2, whichever is smaller.
- 4.2 The maximum permissible height of a shade clothe nursery is 3m. Due to its aesthetic characteristics, polly tunnels will only be allowed inside shade clothe nurseries.
- 4.3 Only black and grey shade cloth will be permitted. With preference of Grey being used.
- 4.4 Commercial greenhouse infrastructure will only be permitted in select areas on sites 101,102,104, 198, 183,184,185 with special permission from FEFA. Intensive greenhouse farming infrastructure will not be allowed anywhere else on the Estate.

5. Fencing

- 5.1 Fencing on Fairview Estates to be kept to the minimum and open spaces are encouraged in every way. It is, however, critical that any fence position must be shown on the site plan and Farming Development Plan submitted. Consideration must be given to pool safety and dog yards. All fencing used as perimeter or paddock fencing or enclosure of yard, to be the same specification as described herein. Any deviation from these to be submitted to FEFA for approval prior to the construction thereof.

5.2 Timber paddock and perimeter fencing:

Posts must be H4 CCA treated gum poles, approx. 100mm diameter and 2,1m long. Poles to be rustic. Final height of posts to be 1,3m above ground. Fence rails to comprise of 2 horizontal CCA treated gum poles, approximately 75mm in diameter. Refer to technical drawing included in landscape guidelines for further detail.



A combination of timber paddock fencing, and electrical fencing will also be allowed. Wire strands to be 100mm apart from ground to top of horizontal plank. A further maximum of three strands, running above the timber fence will be allowed, with maximum fence height set at 1,5m above ground.

Electrified rope fencing is allowed to create permanent and temporary paddocks for livestock, but only where fences do not run along roads. Two strands of 6mm diameter Nemtek Poly rope (or similar approved) are allowed, fixed to timber posts with screw in ring connectors and rope tensioned at all times.

All fencing is to be kept neat and well maintained at all times.

5.3 Yard fencing:

Yard fencing options may consist of:

- Welded mesh on min 75-100mm gum poles not exceeding a height of 1.2m
- A combination of timber paddock fencing and welded galvanized mesh (2.5mm x 2,5mm thick, opening size of 50 x 100mm) will be allowed around each dwelling to retain smaller animals. Mesh to be fixed onto planks in panels on inside of fence and not run across the posts. A 1.5m high electrical fence. Fence made up of 15 wire strands on rustic CCA treated gum posts (75-100mm).

Fairview Estates subscribes to a sustainable and environmentally friendly way of living and want to promote the free movement of wildlife on the estate. As such, yard fencing may not exceed 300 running meters or 0.5 ha and may not encroach into any green belt or cut of access to any natural water source.

All erected fencing must have gates large enough to accommodate vehicular access to general agricultural equipment and vehicles (i.e., tractor and slasher etc.)



H4 CCA treated gum poles



Galvanized steel gate



Combination of timber paddock fencing and welded galvanized mesh yard fencing



1.5m high electric fence



Nemtek Poly rope electric livestock fence



Nemtek Poly rope electric livestock fence

6. Entrance Features (Annexure A)

- 6.1 All properties must have a Fairview Estates designed property identity sign erected at the property entrance from the primary or secondary road. The erection of this property identity sign is required to be completed within the last 60 days of commencing construction of any structures on the property. Property identity signage design elements consist of:
- a. A gabion basket filled with gabion stone or handstone.
 - b. A laser cut steel plate protruding off wall powder coated in the approved estate colour: i.e., “Foliage”
 - c. Artwork to include Fairview Estates monogram. Text to only include road name and portion number
 - d. See Addendum A



Figure 1 Fairview Estates Colours



Figure 2 Fairview Estates monogram



- 6.2 Properties are encouraged, but not obliged to have further Fairview Estates design elements entrance features. When utilising entrance features, they are encouraged to comply with the design elements specified below and as per figure 1.
- Assortment of natural rock at entrance feature is promoted (refer to figure 1.)
 - A big tree or trees of choice is encouraged to be planted at each entrance, preferably large and fast growing.
 - If installing gates to individual properties, they are to be either painted one of the Fairview Estates approved colours or left as galvanised metal or timber farm style gates, subject to FEFA approval.

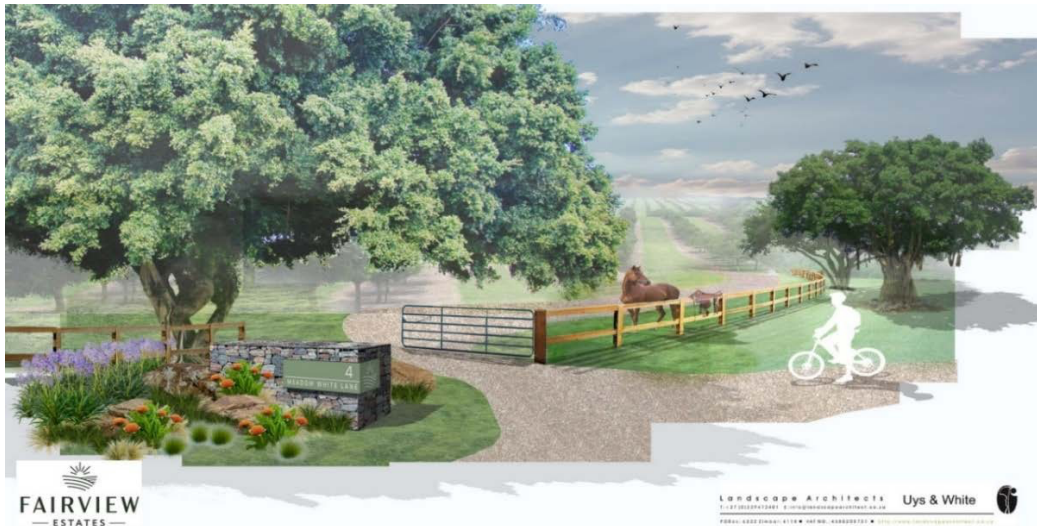


Figure 3 Entrance feature

7. Hedges & Screening

- Subject to clause 3.1, vertical screen planting (formal and informal) is allowed for privacy between neighbours and protection from wind.
- Planted rows of trees, and tree lanes are encouraged.
- Creepers to vertical structures also encouraged.
- Standard detail to be provided from architects [use same as for container in the Architectural code].
- Exclusions: Shade cloth may not be used for screening. Other screening may be submitted for review.

8. Platforms, Banks, and Earthworks

- Recommended cut and fill slopes not steeper than 1:2 but need to be verified by a suitable professional engineer.
- Recommended bank height of no more than 3 meters. Any higher banks to be motivated to FEFA.



- 8.3 Where permanent soil retaining structures are required, the following material will be allowed:
 - a. Gabion basket
 - b. Concrete
 - c. Masonry
 - d. Treated wooden poles in areas of low risk. To be maintained and kept aesthetically pleasing.
- 8.4 Landscape integration of platforms must be integrated with natural contours and topography. Variance in slopes is promoted.
- 8.5 Banks need to be planted and stabilized within 30 days after earthworks completion.
- 8.6 Recommended grass seeding mix to be (Rodes, Smutsfinger 248E, Teff and Panicum (commercial name "Macadamia mix" supplied by www.covercrops.co.za) in equal parts. Any indigenous grass seed mix may be used.
- 8.7 An Earthworks Diagram by an engineer to be submitted with the Farming Master Plan.
- 8.8 Earthworks to be shown on Farming Development Plan.
- 8.9 Approval of Farming v Development Plan does not allow commencement of any earthworks on site. Application, in the form of a letter, to commence earthworks to be submitted to FEFA. No formal structural elements may commence until approval from Council.

9. External Lighting

- 9.1 Refer to lighting regulations in the Architectural Guidelines
- 9.2 External lighting to be kept to a minimum. Feature lighting will not be allowed.
- 9.3 External lighting to be kept at a low level, pointing down, and not be pointing away from your property.
- 9.4 No light source (globes) may be visible from a neighbouring property within Fairview Estate.

10. Irrigation

- 10.1 Water wise landscapes are promoted – Xeriscapes.
- 10.2 Landscaping irrigation is permitted.

11. Lawns

- 11.1 Lawns are to always be kept neat.
- 11.2 Lawns can also be veld or paddock grasses for grazing but must also be kept neat.

12. Driveways

- 12.1 The use of permeable driveway solutions (e.g., gravel, permeable paving, grass blocks etc.) is promoted. Where impermeable solutions are used, stormwater runoff needs to be treated at source and ground infiltrations (Sustainable Drainage principles) are encouraged. No stormwater may run from driveways onto FEFA roads.
- 12.2 Block paving and concrete driveways will be allowed.
- 12.3 Gravel/stone (8mm-15mm) driveways will be permitted, and edge restraints are promoted. Gravel can be



substituted with macadamia nut shells where practically possible.

- 12.4 Unpaved, farm-style roads will be permitted, but need to be well-planned, constructed, and maintained to prevent erosion and nuisance.
- 12.5 Each portion may only have a maximum of two access roads (including a working entrance) from a FEFA road
- 12.6 Property driveway access is only to be from a secondary road wherever possible.

13. Plants and Trees

- 13.1 No invasive plant species will be accepted.
- 13.2 All fruit trees allowed – if invasive, owner needs to obtain necessary permit from the Dept. of Agriculture.
- 13.3 Crops need to be managed according to accepted pesticide programs to prevent the spreading of detrimental insects, virus, bacteria, and fungus.
- 13.4 Crops need to be open for inspection by specialist, to control the health of plants across the whole estate.
- 13.5 Subject to clause 3.1, lanes and boulevards are promoted to assist in windbreaks, privacy, and overall estate aesthetics.

14. Soils

- 14.1 Agricultural practices to enhance the soils' quality are expected from owners.
- 14.2 Crop rotation to promote nitrogen fixing need to be in agricultural practice.
- 14.3 Composting of organic material on site is promoted.
- 14.4 Worm-farms are promoted.

15. Livestock

- 15.1 All livestock on the portion of land will be limited to 2x per hectare of paddock provided.
- 15.2 All livestock must be contained in a fenced off paddock area.

16. Farm Development Plan

- 16.1 All farms need to submit a Farm Masterplan on an A0 format to FEFA. A scrutiny fee per Farm Development plan will be due to FEFA for each new application. FEFA provides a user-pays service to assist with the design and submission thereof.
The Farm Development plan must indicate, but not limited to, the following.
 - a. Layout of all fences and gates, clearly indicating fence typologies.
 - b. Site layout, indicating all buildings and structures, driveways, additional hard surfaces, water tanks, visible services, and screens and firepits. This layout needs to clearly indicate all materials and finishes
 - c. List and layout of all Agricultural Activity planned on site.
 - d. Layout of proposed landscaping overlaid onto existing layout drawing indicating planting typology, divided into:



- Trees
 - Shrubs
 - Lawns
 - Natural Veld
- e. Where applicable, Agricultural Application Form.
- f. Position and type of any informal structures – refer to Addendum B.
- 16.2 Farm Development Plan to be submitted to FEFA prior to installation of landscaping and fencing. Submission to be submitted to admin@fefaco.co.za.
- 16.3 All Farm Development Plans to be approved by FEFA.
- 16.4 Farm Development Plan must be submitted prior to commencement of any work on site. Failure to comply, the landowner/lessee will be liable to a fine.
- 16.5 Any changes or deviations to an approved Farming Development Plan to be submitted to FEFA for approval prior to the construction thereof.

ADDENDUM A: HOUSE SIGNAGE



PROCESS

HOUSE SIGNAGE

1. CHOOSE A LAYOUT
2. CHOOSE WITH OR WITHOUT FAMILY OR FARM NAME
3. CONTACT SIGN ZONE WITH YOUR INFORMATION AND LAYOUT

TURN AROUND TIME 2-3 WEEKS

SUPPLIER

SIGNZONE

Rochelle van Staden

032 946 0823

signs@signzone.co.za

www.signzone.co.za

LAYOUT

LAYOUT OPTION 1



LAYOUT OPTION 2

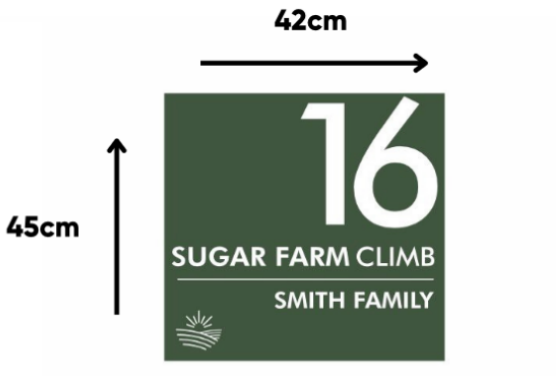


FAMILY/FARM NAME

LAYOUT OPTION 1

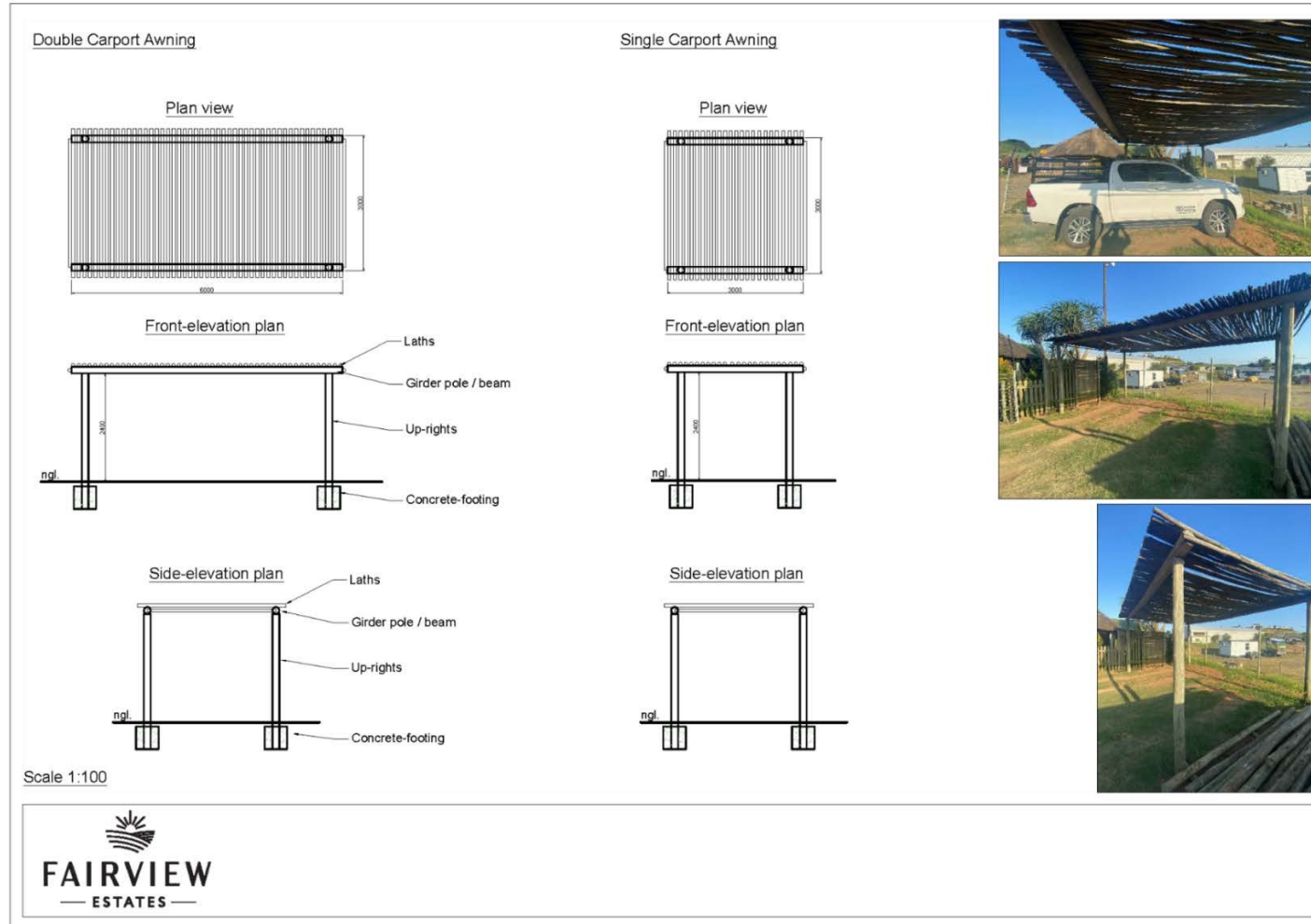


LAYOUT OPTION 2





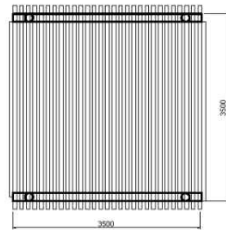
ADDENDUM B: CAR PORTS, SHADE AWNING AND GREENHOUSES



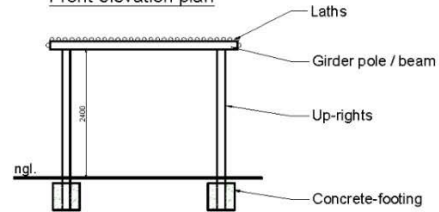
Car ports are to be a maximum height of 2.6m from ground level. Maximum width is to accommodate only 2 two vehicles. 3 sides of the carport are to have ntengu laths (either horizontal or vertical) at a maximum height of 1m from ground level, up to the height of the carport roof, or laths may cover the entirety of the carport structure. (See container specification for ntengu laths in Annexure B).

Shade Awning

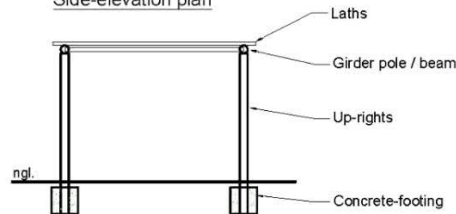
Plan view



Front-elevation plan



Side-elevation plan



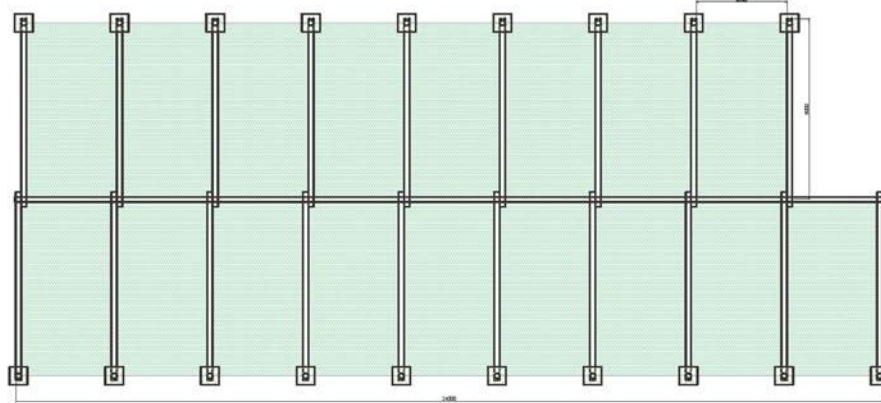
Scale 1:100



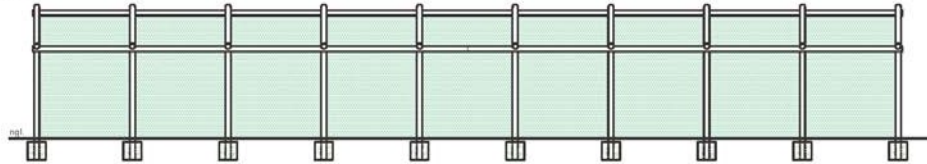
Optional extra to assist with wind break is to have one or more sides screened off with horizontal or vertical ntengu laths (See container specification for ntengu laths in Annexure B).

Shade-net Greenhouse

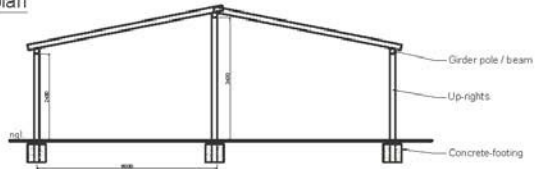
Plan view



Side-elevation plan



Front-elevation plan



Scale 1:150



Preference is given to make use of Grey shade cloth on Fairview Estate