



FAIRVIEW ESTATES FARMERS ASSOCIATION BUILDING INSPECTION CHECKLIST

INTRODUCTION

PTN ____ (OF 100) OF THE FARM DE JAGERS KRAAL NO. 874

FARM / BUILDING EVALUATION
FEFA Report

INSPECTION DATE

INSPECTED BY

Dear Fairview Estates Resident,

Please allow us to take this opportunity to inform you of the purpose of the Evaluation Report, which is to provide you with information that will assist you - as a proud owner - in maintaining the excellence of your beautiful home, both aesthetically and in of longevity.

It is our intention and goal to serve you with guidance and information (where required), and we sincerely appreciate your trust and commitment.

Fairview Estates Farmers Association

ITEMS EVALUATED

GENERAL COMMENTS

General condition of home	Good	Other
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PROTOCOLS:

1. THE FOLLOWING ITEMS WERE EVALUATED ACCORDING TO FAIRVIEW BUILDING DESIGN GUIDELINES, TOWN PLANNING CONTROLS, FAIRVIEW BUILDING GUIDELINES & LANDSCAPING PROTOCOLS

EXTERNAL FIXTURES:

Were the external fixtures screened/ painted/installed so that they are not visible from the road or neighbouring homes?	Yes	Other
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FOOTNOTE: The external fixtures require to be screened or painted the same colour as the surface directly behind the dish, in order to minimize visibility from the road and neighbouring homes.

POOL FENCES & GATES:

Was the pool fence and gate/s in good condition and equipped with workable latches, hinges & self-closing mechanism/s?	Yes	Other
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FOOTNOTE: It is required that all latches, hinges, and self-closing mechanisms be assessed by the homeowner on a regular basis and replaced when not in good working order. It is important to note that it is a National Building Regulation that pool gates be equipped with the aforementioned, as a safety precaution.

AIR-CONDITIONING UNITS:

Were air-conditioning units screened/installed so they would not be visible from the road or neighbouring homes?	Yes	Other
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FOOTNOTE: Air-conditioning units are prescribed to be screened in order to minimize visibility from the road and neighbouring homes. If applicable, it is, therefore, requested that the homeowner kindly attends to said screening at the earliest convenience.

EXTERNAL LIGHTING

Is there any external lighting present?	Yes	Other
Are the external lights as per what was approved by ADRC?	Yes	Other
If there is external lighting, is it visible from the neighbours?	No	Other

FOOTNOTE: All external lighting is to be motion sensor & must not stay on longer than a few minutes. External lighting for outdoor use is to not cause light pollution to the neighbours.

JOJO TANKS (Rainwater Harvesting Systems):

Were JOJO tanks screened/painted/ installed so that they are not visible from the road or neighbouring homes? OR were they installed to be integrated into the design as per ADRC sign-off?	Yes	Other
	Yes	Other
Were the required amount of JOJO tanks per size of dwelling provided 5 000L per bedroom (2+)	Yes	Other

FOOTNOTE: In the event where screening of the tanks is not possible, an alternative option is to paint the tanks the same colour as the exterior walls.

GAS BOTTLES/ INSTALLATION:

Were gas bottle/s screened or in a steel cage to prevent unauthorised access, and to minimize visibility from the road or neighbouring homes?	Yes	Other
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FOOTNOTE: For safety purposes as well as aesthetical reasons, we kindly remind the homeowner that gas bottles need to be screened either with a timber screen or be installed in a lockable steel cage or be enclosed in a courtyard.

CONCRETE ROOF SLAB COVERAGE (stone-chip):

Where applicable, were concrete roof slabs covered with charcoal stone chip?	Yes	Other
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FOOTNOTE: Where the top of concrete roof-slabs is visible from the road and/or neighbouring homes, it is prescribed that these slabs be covered with charcoal stone-chip.

GEYSER (External):

If an external geyser was evident, was it screened/ installed to not be visible from the road or neighbouring homes?	Yes	Other
What type of geyser heating system has been installed for the home?		

FOOTNOTE: If said external geyser is not screened, kindly attend to this as soon as possible.

TEMPORARY STRUCTURES:

In the event of temporary structures for storage (wendy house etc.) being present, were they visible from the road or neighbouring homes?	Yes	Other
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Are the temporary structures up to standard/visibly pleasing to the eye?	Yes	Other
Are there any container structures erected on site, and are they visibly appealing to the eye?	Yes	Other
Are the temporary structures constructed as was latest approved by the ADRC?	Yes	Other

FOOTNOTE: Kindly note that temporary structures (unless otherwise approved by ADRC), should not be visible at all from the road or neighbouring homes. Where these structures are visible, we request that they be relocated to a more inconspicuous area as soon as possible.

SCREENING ELEMENTS:

Are there any screening elements present?	Yes	Other
If yes, are the screening elements as per what was approved by the ADRC?	Yes	Other
Are all the timber screens as indicated on submitted plans, built & neat?	Yes	Other

FOOTNOTE: All screening elements are to be done neatly and must be appealing to the eye. All indicated screens have to be built as was submitted for the ADRC approval.

OUTBUILDINGS:

If the outbuilding (stables, staff quarters, shed, garage, etc.) has been constructed, is it in line with the guidelines?	Yes	Other
Have the outbuildings been given the same attention as the main dwelling?	Yes	Other
Have the outbuildings been built respectively to the plans that were submitted to ADRC?	Yes	Other

FOOTNOTE: Outbuildings must be visibly appealing and may not be visible from other homes, unless approved by ADRC.

COVERED PATIOS & ENCLOSURES:

If the drawings indicate covered patios, were these still evident as covered and not enclosed?	Yes	Other
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FOOTNOTE: If "NO", we would like to inform the homeowner that enclosing covered patios are not allowed unless approved by the ADRC.

The closing-in of a covered patio will amend the allowed Floor Area Ratio (FAR) of the building (this will need to be updated and resubmitted to the ADRC).

If said approval has not been granted, kindly submit all the necessary required written application documentation to us as soon as possible. In the interim, the matter will be directed to the ADRC for their attention and comments.

BUILDING FOOTPRINT:

Is the building footprint the same as what was submitted and approved by ADRC?	Yes	Other
Are the proposed temporary structures in the same position as was indicated on ADRC submission?	Yes	Other

ELEVATIONS:

NOTE: Should the elevations on the approved drawings not correspond with what was actually built, drawings must be updated to reflect what is on site.
Kindly submit all required amendments to FEFA Building Control Dept. at earliest convenience in order to ensure that all matters are compliant

i. **ELEVATION:**

Is the Elevation as per approved drawings?	Yes	Other
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ii. **ELEVATION**

Is the Elevation as per approved drawings?	Yes	Other
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iii. **ELEVATION**

Is the Elevation as per approved drawings?	Yes	Other
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iv. **ELEVATION**

Is the Elevation as per approved drawings?	Yes	Other
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FARM NUMBER & ENTRANCE GABION:

Is the gabion constructed as per what was submitted?	Yes	Other
Is the gabion & farm number construction & application in good condition/acceptable	Yes	Other

FOOTNOTE: A feature tree along with gabion basket with Fairview logo & road number is to be installed as a feature. It is mandatory that each farm has a road number signage installed for identification purposes. Should a sign not be present at your farm's main driveway entrance, we kindly request for this to be addressed at your earliest convenience.

Should you require more details on the design, please do not hesitate to contact Fairview Building Control Dept.

FENCES

Have the fences been built 2m from neighbouring boundaries?	Yes	Other
Have fences been built to a maximum height of 1.5m?	Yes	Other
Have fences been constructed as per FEFA guidelines (pole & timber)	Yes	Other

GUTTERS & DOWNPIPES:

Were gutters & downpipes free from dirt and/or leaves or weeds?	Yes	Other
Were gutters & downpipes free from any damage?	Yes	Other
Were the gutters/downpipes as per what was indicated in ADRC submission? Colour, type etc.	Yes	Other

PAINT WORK & EXTERIOR SURFACES:

Were surfaces free from damp and/or other waterproofing problems?	Yes	Other
Were surfaces free from cracks?	Yes	Other
Were surfaces free from plaster falling off the walls?	Yes	Other
Were surfaces free from excessive dirt that would require deep cleaning?	Yes	Other
Is the paint colour as per what is on the list of approved colours? Or as per what was approved by the ADRC?	Yes	Other

ROOFS:

Is the roof covering as per what is on the approved list? Or as per what was approved by the ADRC?	Yes	Other
Is the work of the roof up to standard with FEFA?	Yes	Other
Is the roof covering colour as per approved list?	Yes	Other

Are bargeboards/fascias matching the roof colours or as per approved by ADRC?	Yes	Other
Is a concrete roof applicable to this inspection?	Yes	Other
Is the concrete roof straight & constructed well/is it appealing?	Yes	Other

DRIVEWAYS:

Was the driveway in good & neat condition?	Yes	Other
What application of driveway was constructed/installed?		
Was the driveway as per the approved ADRC plans that were submitted?	Yes	Other
If the driveway is non-permeable, have sufficient storm water catchments been constructed?	Yes	Other

SOLAR:

Has the building been setup with solar?	Yes	Other
If yes, has the installation been done in an appealing manner?	Yes	Other
Are the solar panels visible from any neighbours?	Yes	Other
Was the location of solar panels approved in the ADRC submission? Were the approved plans adhered too?	Yes	Other

CHIMNEYS:

Has the building got a chimney/fireplace?	Yes	Other
Has the chimney construction & cowl been executed as per the approved plans?	Yes	Other

PLUMBING:

Has all plumbing been screened off as per approved plans?	Yes	Other
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RUBBLE:

Was the area free from rubble?	Yes	Other
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FOOTNOTE: No rubble is to be visible on site once construction has been completed.

x. JUNGLE GYMS/ TRAMPOLINES:

Was the jungle gym built according to Estate Guidelines?	Yes	Other
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x. BOATS/CARAVANS/JET-SKIS/TRAILERS:

In the event of a boat/caravan/jet ski /trailer being parked on the site, was it parked as to not be visible from the road/neighbouring homes?	Yes	Other
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HIDDEN MATT AZ150 (47)



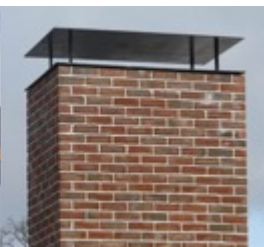
COFFEE MATT AZ150 (68)



ECLIPSE MATT AZ150 (18)



GRAPHITE MATT AZ150 (26)



SAXON STONE
Black & grey hand axed



SAXON STONE
Grey chunks extra small



DURASTONE
Split face stone



SAXON STONE
Sandstone splits

KWADUKUZA MUNICIPAL CONDITIONS

Portions are zoned AGRI 1 as per the KwaDukuza Scheme below. Owners are required to familiarise themselves with the KwaDukuza LUMS conditions and those of the Fairview Estates Farmers Association's Memorandum of Incorporation, in which the agricultural land use criteria is confirmed.



	AGRICULTURE 1 (AGRI 1)	FEFA RESTRICTIONS
STATEMENT OF INTENT	A zone intended to provide for land and buildings where the primary activity is both intensive and extensive agricultural production of crops, poultry, livestock, or products.	
FAR	0.15	0.15
COVERAGE	15 %	15%
HEIGHT	2	7.6 m from NGL
FRONT SETBACK LINE	10.5 m	Required building envelope 20 m (from edge of road).
SIDE SETBACK	6 m	Required building envelope 20 m (from neighbour).
REAR SETBACK	6 m	Required building envelope 20 m (from neighbour).
MAIN ESTATE BOUNDARY	7.5 m	Required building envelope 20 m (from neighbour).